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Case Number	20/01438/LBCRG3 (Formerly PP-08691398)
Application Type	Listed Building Consent by the Council
Proposal	Retention and refurbishment of existing buildings, demolition of associated structures and erection of new buildings to form a mixed use development comprising a communal hall with associated retail space, cafe, bar (Use Classes A1/A2/A3/A4/A5) flexible business, events and studio space (Use Classes B1/D1/D2) and associated works
Location	Land Bound By Cambridge Street, Wellington Street and Backfields Sheffield S1 4HP
Date Received	06/05/2020
Team	City Centre and East
Applicant/Agent	Montagu Evans
Recommendation	Grant Conditionally

## Time Limit for Commencement of Development

1. The development shall be begun not later than the expiration of three years from the date of this decision.

Reason: In order to comply with the requirements of the Planning (Listed Buildings and Conservation Areas) Regulations 1990.

## Approved Plan(s)

2. The scheme shall be implemented in accordance with the following approved plans:

HOH-FCBS-Z3-XX-DR-A-0001 P1	- H3 Existing Location Plan
HOH-FCBS-Z3-XX-DR-A-0010 P1	- H3 Site Plan
HOH-FCBS-Z3-B1-DR-A-0038 P1	- Existing Basement Plan
HOH-FCBS-Z3-LG-DR-A-0039 P1	- Existing Lower Ground Floor Plan
HOH-FCBS-Z3-UG-DR-A-0040 P1	- Existing Upper Ground Floor Plan
HOH-FCBS-Z3-01-DR-A-0041 P1	- Existing First Floor Plan
HOH-FCBS-Z3-02-DR-A-0042 P1	- Existing Second Floor Plan
HOH-FCBS-Z3-RF-DR-A-0043 P1	- Existing Roof Plan
HOH-FCBS-Z3-ZZ-DR-A-0080 P1	- Existing Sections
HOH-FCBS-Z3-ZZ-DR-A-0090 P1	- Existing West Elevation

HOH-FCBS-Z3-ZZ-DR-A-0091 P1	- Existing Bethel Walk Elevation
HOH-FCBS-Z3-ZZ-DR-A-0092 P1	- Existing East Elevations
HOH-FCBS-Z3-ZZ-DR-A-0093 P1	- Existing South Elevation
HOH-FCBS-Z3-B1-DR-A-0098 P1 Demolition Plan	- Proposed Basement Level
HOH-FCBS-Z3-LG-DR-A-0099 P2 Demolition Plan	- Proposed Lower Ground Floor
HOH-FCBS-Z3-UG-DR-A-0100 P2 Demolition Plan	- Proposed Upper Ground Floor
HOH-FCBS-Z3-01-DR-A-0101 P1 Plan	- Proposed First Floor Demolition
HOH-FCBS-Z3-02-DR-A-0102 P2 Plans	- Proposed Second Floor Demolition
HOH-FCBS-Z3-RF-DR-A-0103 P2 Plan	- Proposed Roof level Demolition
HOH-FCBS-Z3-00-DR-A-0104 P2 Sunday School Demolition Plan	- Proposed Ground Floor Bethel
HOH-FCBS-Z3-01-DR-A-0105 P2 School Demolition Plan	- Proposed First Floor Bethel Sunday
HOH-FCBS-Z3-02-DR-A-0106 P1 Bethel Sunday School Demolition Plan	- Proposed Second Floor Level
HOH-FCBS-Z3-RF-DR-A-0107 P2 Sunday School Demolition Plan	- Proposed Roof Level Bethel
HOH-FCBS-Z3-ZZ-DR-A-0161 P1	- Demolition West Elevation
HOH-FCBS-Z3-ZZ-DR-A-0162 P2	- Demolition Bethel Walk Elevation
HOH-FCBS-Z3-ZZ-DR-A-0163 P1	- Demolition East Elevation
HOH-FCBS-Z3-ZZ-DR-A-0164 P1	- Demolition South Elevation
HOH-FCBS-Z3-B1-DR-A-0198 P1	- H3 Proposed Basement Plan
HOH-FCBS-Z3-LG-DR-A-0199 P2 Plan	- H3 Proposed Lower Ground Floor
HOH-FCBS-Z3-UG-DR-A-0200 P2 Plan	- H3 Proposed Upper Ground Floor
HOH-FCBS-Z3-01-DR-A-0201 P2	- H3 Proposed First Floor Plan
HOH-FCBS-Z3-02-DR-A-0202 P2	- H3 Proposed Second Floor Plan
HOH-FCBS-Z3-03-DR-A-0203 P1	- H3 Proposed Third Floor Plan
HOH-FCBS-Z3-RF-DR-A-0204 P1	- H3 Proposed Roof Plan
HOH-FCBS-Z3-ZZ-DR-A-0701 P2	- H3 GA-Section AA
HOH-FCBS-Z3-ZZ-DR-A-0702 P1	- H3 GA-Section BB
HOH-FCBS-Z3-ZZ-DR-A-0703 P1	- H3 GA-Section CC
HOH-FCBS-Z3-ZZ-DR-A-0704 P2	- H3 GA-Section DD
HOH-FCBS-Z3-ZZ-DR-A-0705 P1	- H3 GA-Section EE
HOH-FCBS-Z3-ZZ-DR-A-0706 P1	- H3 GA-Section FF
HOH-FCBS-Z3-ZZ-DR-A-0707 P1	- H3 GA-Section GG
HOH-FCBS-Z3-ZZ-DR-A-0752 P2	- H3 Site Elevations
HOH-FCBS-Z3-ZZ-DR-A-0801 P2	- H3 Proposed West Elevation
HOH-FCBS-Z3-ZZ-DR-A-0802 P1	- H3 Proposed North Elevation
HOH-FCBS-Z3-ZZ-DR-A-0803 P1	- H3 Proposed East Elevation
HOH-FCBS-Z3-ZZ-DR-A-0804 P1	- H3 Proposed South Elevation
HOH-FCBS-Z3-ZZ-DR-A-0851 P1 Building	- Bay Study - West Elevation - Arrival

Reason: In order to define the permission

**Pre-Commencement Condition(s)**

- 3 No development, including any demolition, shall take place until the applicant, or their agent or successor in title, has implemented the programme of building recording set out in the submitted Written Scheme of Investigation (WSI) for Historic Building Recording [Wessex Archaeology, August 2020, document ref: 112720.09].

Thereafter the development shall only take place in accordance with this WSI, or any updated version subsequently approved, and the development shall not be brought into use until the Local Planning Authority has confirmed in writing that the requirements of the WSI have been fulfilled or alternative timescales agreed.

Reason: To ensure that any archaeological remains present, whether buried or part of a standing building, are investigated and a proper understanding of their nature, date, extent and significance gained, before those remains are damaged or destroyed and that knowledge gained is then disseminated. It is essential that this condition is complied with before any other works on site commence given that damage to archaeological remains is irreversible.

- 4 Prior to the commencement of development or the demolition and removal of windows or roofs in the buildings or facades to be retained an assessment of the windows and roofs to be repaired or replaced shall be submitted to and approved by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved details.

Reason: In the interests of the minimising the loss of historic fabric which contributes positively to the character of the conservation area.

**Pre-Occupancy and Other Stage of Development Condition(s)**

5. Large scale details, including materials and finishes, at a minimum of 1:20 of the items listed below shall be approved in writing by the Local Planning Authority before construction of that part of the development commences:

- (a) Typical details of replacement/new windows/doors including reveals
- (b) Elevations and cross sections of the new dormer
- (c) Repairs to windows and the building fabric
- (d) Alterations to windows and interface with the building associated with the new steps to Bethel Walk

Thereafter, the works shall be carried out in accordance with the approved details.

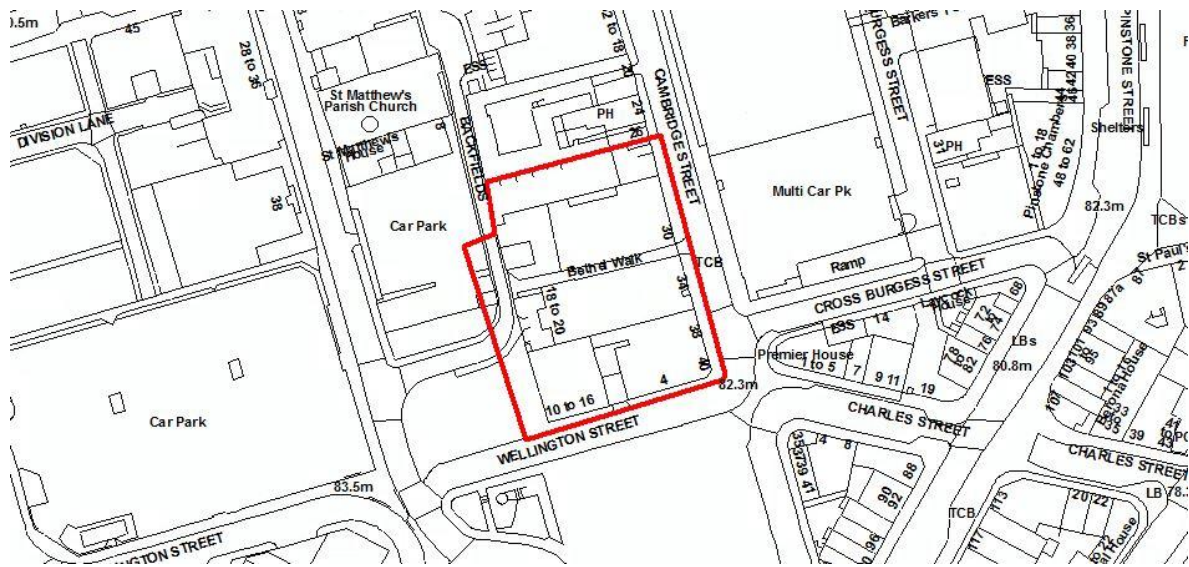
Reason: In order to ensure an appropriate quality of development.

6. Details of all proposed external materials and finishes, including samples when requested by the Local Planning Authority, shall be submitted to and approved in writing by the Local Planning Authority before that part of the development is commenced. Thereafter, the development shall be carried out in accordance with the approved details.

Reason: In order to ensure an appropriate quality of development.

**Other Compliance Conditions**

# Site Location



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For joint report see 20/01437/RG3.