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Case Number	19/04472/FUL (Formerly PP-08349387)
Application Type	Full Planning Application
Proposal	Demolition of existing garage, erection of single-storey front, rear and side extensions, raising of roof height to form habitable accommodation and provision of a first-floor rear roof terrace area
Location	1 Peterborough Drive Sheffield S10 4JB
Date Received	16/12/2019
Team	West and North
Applicant/Agent	Latham Davies Limited
Recommendation	Grant Conditionally

### **Time limit for Commencement of Development**

1. The development shall be begun not later than the expiration of three years from the date of this decision.

Reason: In order to comply with the requirements of the Town and Country Planning Act.

### **Approved/Refused Plan(s)**

2. The development must be carried out in complete accordance with the following approved documents published on 9 March 2010:
  - proposed site plan (drawing PRD PL-02);
  - existing and proposed floor plans (drawing PRD PL-03 revision B); and
  - existing and proposed elevations (drawing PRD PL-04 revision B).

Reason: In order to define the permission.

### **Pre Commencement Condition(s) – ('true conditions precedent' – see notes for definition)**

### **Other Pre-Commencement, Pre-Occupancy and other Stage of Development Condition(s)**

3. The windows on the south facing side elevation (labelled as a kitchen and bathroom in the approved plans) shall be fully glazed with obscure glass to a minimum privacy standard of Level 4 Obscurity and no part of the windows shall at any time be glazed with clear glass.

Reason: In the interests of the amenities of occupiers of adjoining property.

4. The balustrading for the roof terrace shall be fully glazed with obscure glass to a minimum privacy standard of Level 4 Obscurity and no part of the window shall at any time be glazed with clear glass.

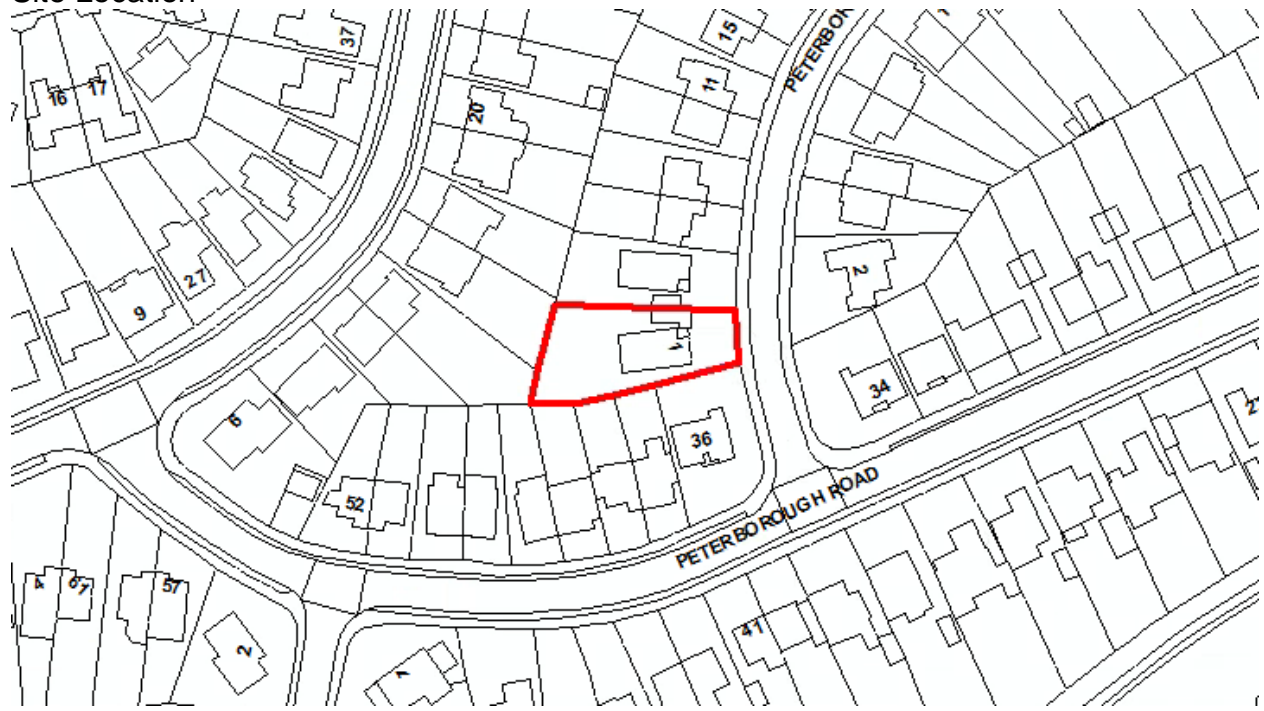
Reason: In the interests of the amenities of occupiers of adjoining property.

### **Other Compliance Conditions**

Attention is Drawn to the Following Directives:

1. The Local Planning Authority has dealt with the planning application in a positive and proactive manner and sought solutions to problems where necessary in accordance with the requirements of the National Planning Policy Framework.

Site Location



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## LOCATION AND PROPOSAL

The application site comprises of a single storey property located within an established residential area to the west of the city centre. The layout and style of the estate are typical of those built in the 1960s and 1970s. The houses are constructed to a simple design with light brown coloured brickwork or white render. A number of the properties feature stone facing detailing. The properties are mostly semi-detached, although there are a small number of bungalows, including the application site.

The site is located to the north west of the junction between Peterborough Road and Peterborough Drive. The properties along Peterborough Road, to the immediate south of the site are set at the perpendicular to the applicant's property and are on higher ground. The plot is reasonably sized, but tapers from the rear to the front.

As amended, planning permission is sought for the following works:

- a new porch to the front elevation, positioned in the centre of the existing dwelling so that the roof ridge height of the porch and dwelling line up together. It would have a pitched roof and full height windows on the southern (side) elevation and front elevation which would also include apex glazing. There would also be a ground floor bedroom window along the front elevation.
- a flat roof rear extension with large glazing along the rear elevation. It would project beyond the southern side elevation for a short distance to provide additional storage space for the new kitchen. The existing bedroom with its window on the side elevation would be converted into a bathroom.
- a new upper floor converting the bungalow into a two storey dwelling by raising the property's ridge height by approximately 1.8m and utilising the existing roof space. There would be two narrow trapezium shaped windows along the front elevation, but the upper rear elevation window would be set back from the existing rear elevation to provide a partially enclosed external terrace with an obscured glass balustrade.
- a new side extension and garage to the north. It would have a flat roof and it would project beyond the existing front elevation and be in line with the new porch. The extension would follow the common boundary with the northern neighbour (3 Peterborough Drive) which would result in the extension narrowing towards the front elevation. It would be set back from the rear elevation with patio doors opening out onto a small terrace with steps leading down into the rear garden. A privacy screen would be added to the length of the external terrace.

The existing garage and carport, which is set forward of the building line, will be demolished to accommodate the proposal.

## RELEVANT PLANNING HISTORY

There is no relevant planning history for this site.

## REPRESENTATIONS

The planning authority received ten objections to the proposal which are summarised as follows:

- the large amount of glass would be out of proportion when compared to other properties.
- inappropriate materials for the general streetscene.
- the proposal would alter the street outlook and impact on the area.
  
- loss of privacy and intrusion caused by: the roof windows; the large amount of glass planned at the rear of the property and the roof terrace especially as the site is on slightly elevated ground; the terrace would offer easy access to the flat roof of the extension which could therefore possibly be used by the owners, again increasing the loss of privacy; the applicant would be able to see into neighbouring occupiers' kitchen, bedrooms, garden and patio; and the bedroom window on the southern elevation would be close to the rear windows of the property to the south.
- loss of light and over-shadowing.
- the proposal would create a visually overbearing and oppressive structure, made worse by the applicant's choice of dark coloured materials.
  
- building on the existing garden and the addition of a patio will reduce drainage and contribute to more flooding leading to environmental concerns.
- permitted development rights should be removed as part of any approval to ensure that the rear flat roof extension remains inaccessible, obscure glass remains and dormer windows are not permitted.
- lack of detail in the plans, including finishing materials or the intended use of the extension's rooms.
- possible further development (such as utilising the flat roof above the extension on the western elevation or larger windows) sometime in the future.
- loss of a bungalow changing the character of the area and housing mix. It would leave less choice for the elderly or disabled.
- no measurements are given about the size of the rear extension and so its impact cannot be accurately assessed.

Other concerns were raised that are not considered to be planning matters, including the alleged impact of the development on neighbours' health and wellbeing, the right to a view and impact on the price of neighbouring properties.

## PLANNING ASSESSMENT

Policy context

The National Policy Framework (NPPF) Paragraph 127 seeks to ensure that new developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; are sympathetic to local character and history; establish or maintain a strong sense of place; create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users.

The site is identified on the Unitary Development Plan Proposals Map as being within a Housing Area. The assessment takes account of Policies BE5, and H14 of the Sheffield Unitary Development Plan (UDP) and the provisions of policy CS74 of the Core Strategy regarding design. The Supplementary Planning Guidance (SPG) on Designing House Extensions is also relevant.

Policy H14 (Conditions on Development in Housing Areas) of the Unitary Development Plan supports and accords with the aims of the NPPF and states that new development and extensions will only be permitted where they are well designed and in scale and character with neighbouring buildings and where the site would not be overdeveloped or deprive residents of light, privacy or security or cause serious loss of existing garden space which would harm the character of the neighbourhood. In addition new development should provide safe access to the highway network and appropriate off street parking and not endanger pedestrians.

This policy is supplemented by an adopted Supplementary Planning Guidance on Designing House Extensions which provides more detailed guidance on matters such as design, overbearing impact and privacy.

The sections of these local plan policies being relied on below are considered to remain in accordance with the NPPF and can be offered substantial weight.

## Design

Policy BE5 (Building Design and Siting) expects good design and the use of good quality materials. Policy CS74 of the Core Strategy has similar requirements. The SPG encourages a residential extension to be sympathetic to the host property in terms of design and choice of external materials, but is not unduly prescriptive.

The proposed alterations would alter the dwelling's appearance when viewed from the street. The raised ridge height, changes to the fenestration, including the use of dark grey window frames, and the extensions being finished in dark grey brick would result in a dwellinghouse with a more contemporary appearance that would be a departure from the current building, but not to a harmful extent.

The rear and southern side extensions would not be visible from the street but they continue the modern design approach, incorporating a flat roof and extensive glazing along the rear elevation.

The creation of an upper floor requires an increase in the property's ridge height, but this visual impact is offset to some degree by maintaining the current roof form and pitch.

The planning authority does not discourage innovative design and recognises that design choices are often subjective. Moreover, the proposed alterations and extensions are considered to retain the basic form of the existing property such that, whilst incorporating more modern design details, they are not considered to have a harmful impact on the existing property or result in an incongruous feature in the wider streetscene.

The proposal is therefore considered to be acceptable in design terms and to meet the provisions of the Development Plan and the NPPF.

#### Residential amenity

UDP policy H14 states that new development in housing areas should not cause harm to the amenities of existing residents. Core Strategy Policy CS74 requires new development to contribute to the creation of successful neighbourhoods.

The extensions would still leave sufficient private amenity space to meet the Council's requirements of 50 square metres as described in Guideline 4 of the SPG.

Guideline 6 of the SPG requires extensions to protect and maintain minimum levels of privacy. Properties in the vicinity are already overlooked to some extent, although the degree of overlooking is limited for the occupiers of the bungalows, and in particular 3 Peterborough Drive. The proposal would lead to an increase in fenestration along the rear (western) elevation, not only with the large sitting room windows at ground floor level, but also from the new upper floor's windows and enclosed.

When an upper floor is either created or extended, SPG Guideline 6 recommends that there should be a minimum of 21m between the facing windows of the extension and the properties to the rear of the site. The proposal would easily meet this requirement with over 30 m retained between upper floor windows. The proposed terrace will be set back from the ground floor rear elevation and will be enclosed with side walls and the roof's eaves. As a further safeguard, the applicant has agreed to add opaque screening along the front face of the enclosed balcony. The planning authority therefore considers that the proposal would not lead to any material loss of privacy for the occupiers of neighbouring properties along Rochester Road to the rear of the site, or those to the north and south.

The proposal would remove the existing side windows along the northern elevation, facing the common boundary with 3 Peterborough Drive and although there are patio doors to the rear of the extension, they would face into the applicant's garden. A 1.8m high screen along the side of the terrace would protect the northern occupier's privacy.

The proposed rear extension features a corner window, but as it is offset from the boundary and as views would be partially screened by the existing fence, it is not considered to result in a significant loss of privacy.

The LPA notes neighbour's concerns regarding privacy issues along the side elevation where there is currently a bedroom window. The proposal would convert this room into a bathroom with opaque glazing (secured by condition) and the applicant has agreed to obscure glaze the kitchen window and reposition the bedroom window to the front elevation. As a result there would be no impact on the privacy of neighbours to the south as a result of the proposed development.

The increased roof height and the new side extension would add to the property's existing silhouette, but the shade created by it would be within the applicants' curtilage during the morning and evening, only falling across the southern side elevation of 3 Peterborough Drive during the middle part of the day. The proposals do not result in any significant overshadowing that would impact on the amenities of the occupiers of neighbouring dwellings.

The side extension along the property's northern elevation replaces the existing garage and its canopy and as a result the increase in built form arising from the extension would not be material. The rear extension would be limited to a single storey and feature a flat roof. Overall, whilst the planning authority accepts that the proposal would lead to some increase in visual mass from the raised ridge height and from the extensions as well, they would not create a visually intrusive appearance to the immediate neighbours.

#### Highway safety

SPG Guideline 8 states that proposals for extensions should not adversely affect highway safety. An extension to a residential property is unlikely to significantly increase traffic flows and the proposals do not affect the dwelling's existing on-site parking arrangements. Therefore the development would not adversely affect highway safety.

#### SUMMARY AND RECOMMENDATION

The development is considered to be acceptable in terms of design and its impact on the character of the area and it will not result in any significant harm to the residential amenities of the occupiers of neighbouring dwellinghouses. As such, the development is considered to accord with the National Planning Policy Framework (2019), Sheffield Unitary Development Plan Policies H14 and BE5, Core Strategy policy CS74 and the Council's Supplementary Planning Guidance on Designing House Extensions.

It is recommended that Members grant planning permission subject to the listed conditions.